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Sinclair Community College

Dayton, Ohio

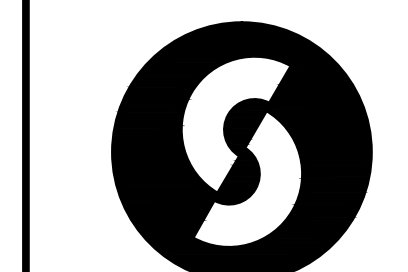
Project Number: FAC 18-07

Skylight Replacement Building 13

ISSUES	10/15/17	BID DOCUMENTS
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REVISIONS		
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PROJECT COORDINATOR: **G.O. Donahue**
 PROJECT MANAGER: **J.B. Hollis**
 CHECKED BY: **W.M. Judd**



Sinclair Community College

Project No. FAC 18-07

Skylight Replacement Building 13

DRAWING TITLE

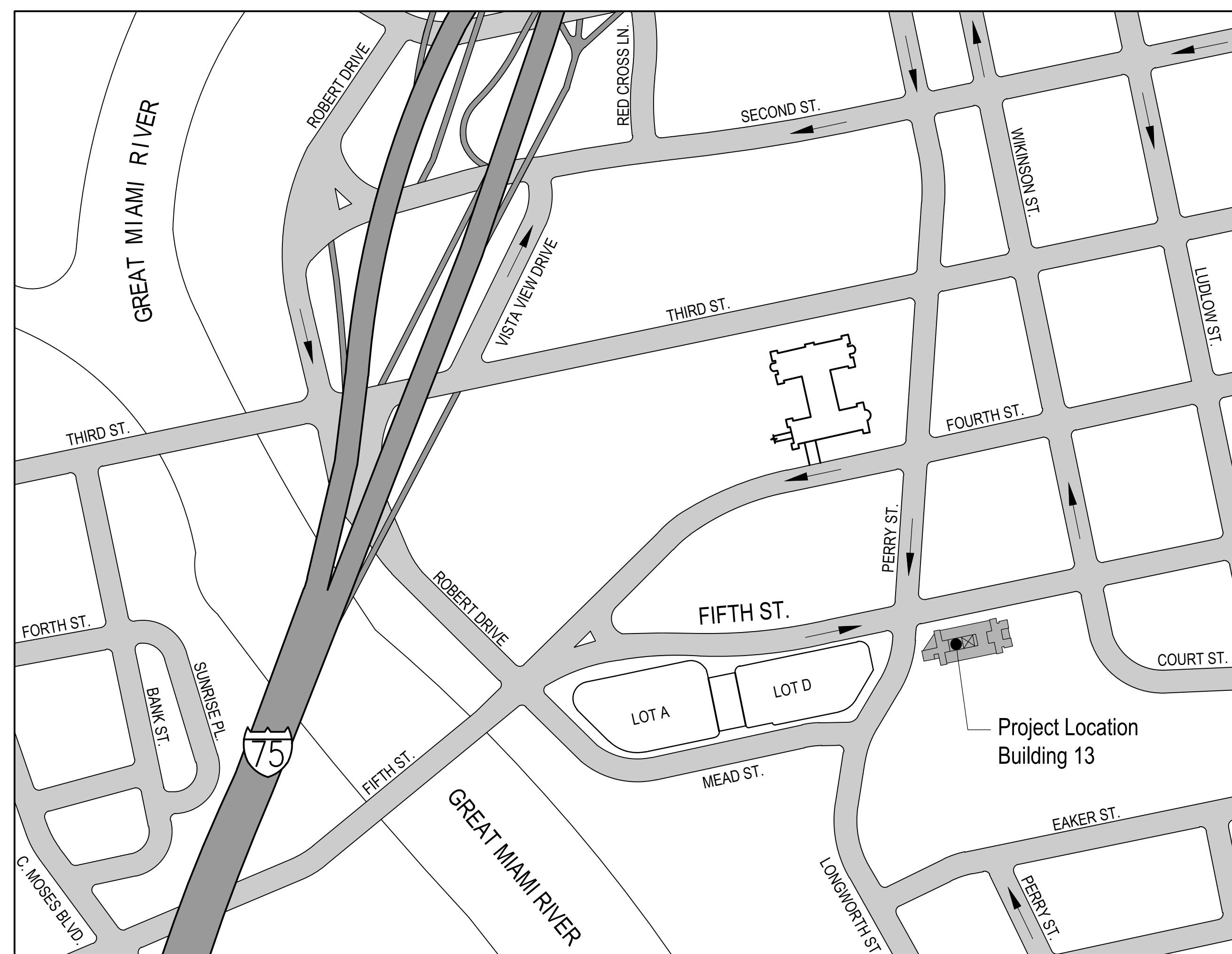
TITLE SHEET

JOB NUMBER DATE

16033.02 October 2017

DRAWING NUMBER

001



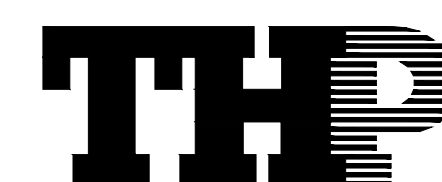
DRAWING INDEX

- 001 TITLE SHEET
- 101 PARTIAL ROOF AND LOWER LEVEL PLANS
- 201 REPAIR ELEVATIONS
- 202 REPAIR DETAILS

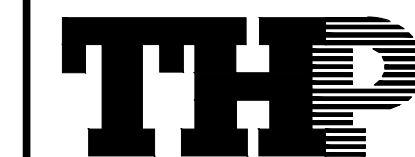
GENERAL NOTES

- CODES**
- ALL WORK SHALL CONFORM TO THE OHIO BUILDING CODE, ALL LOCAL, AND ALL OSHA REQUIREMENTS. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL APPLICABLE CITY, COUNTY, STATE, AND FEDERAL LAWS, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND REGULATIONS ADOPTED PURSUANT THERETO.
- PROJECT MANUAL**
- SEPARATELY BOUND PROJECT MANUAL, DATED OCTOBER 2017, EXISTS AND IS PART OF THE CONTRACT DOCUMENTS. GENERAL CONDITIONS, TECHNICAL INFORMATION, AND REQUIREMENTS ARE INCLUDED IN THE PROJECT MANUAL, CLEARLY ORGANIZED AND DESCRIBED IN SECTIONS CONSISTENT WITH NORMALLY ACCEPTED CONSTRUCTION SPECIFICATION INSTITUTE FORMATS. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIREMENTS OF THIS PROJECT LISTED IN THE PROJECT MANUAL, BUT NOT NECESSARILY INCLUDED ON DRAWINGS.
- TRAFFIC CONTROL, DUST AND DEBRIS CONTROL AND REMOVAL**
- FURNISH ALL SIGNAGE REQUIRED TO CLEARLY ESTABLISH THE WORK AREAS AS RESTRICTED AND OFF LIMITS TO THE PUBLIC. ALL SIGNS SHALL BE PROFESSIONALLY PREPARED AND REVIEWED IN ADVANCE BY THE OWNER'S REPRESENTATIVE.
 - FURNISH ALL BARRICADES AT THE INTERIOR AND EXTERIOR OF THE BUILDING (AND ALL OTHER NECESSARY MEASURES) TO SAFELY REROUTE PEDESTRIAN TRAFFIC AROUND WORK AREAS.
 - PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS ETC. GENERATED BY THE WORK REMAINS WITHIN THE WORK AREA AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS FOR EMPLOYEES AND THE GENERAL PUBLIC.
 - DISPOSE OF ALL DEBRIS OFF SITE IN A LAWFUL MANNER.
- GENERAL**
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT FOR SUCCESSFUL COMPLETION OF THIS PROJECT WHETHER DETAILED ON THE DRAWINGS OR NOT.
 - CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS AT THE SITE BEFORE SUBMITTAL OF SHOP DRAWINGS AND FABRICATION OF ANY WORK. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
 - ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE, UNLESS NOTED OTHERWISE.
- CONSTRUCTION AND SAFETY**
- CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS, EMPLOYEES, AND GENERAL PUBLIC DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT LIMITED TO, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, SCAFFOLDING, PLANKING, AND SAFETY NETS.
 - CONTRACTOR, AT HIS OWN EXPENSE, SHALL ENGAGE PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED AND INSPECT THE SAME IN THE FIELD. OBSERVATION VISITS TO THE SITE BY OWNER'S REPRESENTATIVE SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
 - CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.
 - IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
 - THE DUTY OF THE OWNER'S REPRESENTATIVE TO CONDUCT CONSTRUCTION REVIEW OF CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF ADEQUACY OF CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.

PREPARED BY



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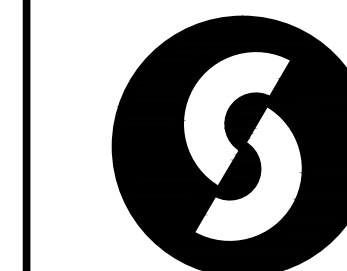
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ISSUES
1 10/15/17

REVISIONS

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CHECKED BY:
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**Sinclair
Community
College**

Project No. FAC 18-07

**Skylight
Replacement
Building 13**

DRAWING TITLE
**PARTIAL ROOF AND
LOWER LEVEL PLANS**
JOB NUMBER DATE
16033.02 October 2017
DRAWING NUMBER

101

KEY NOTES:

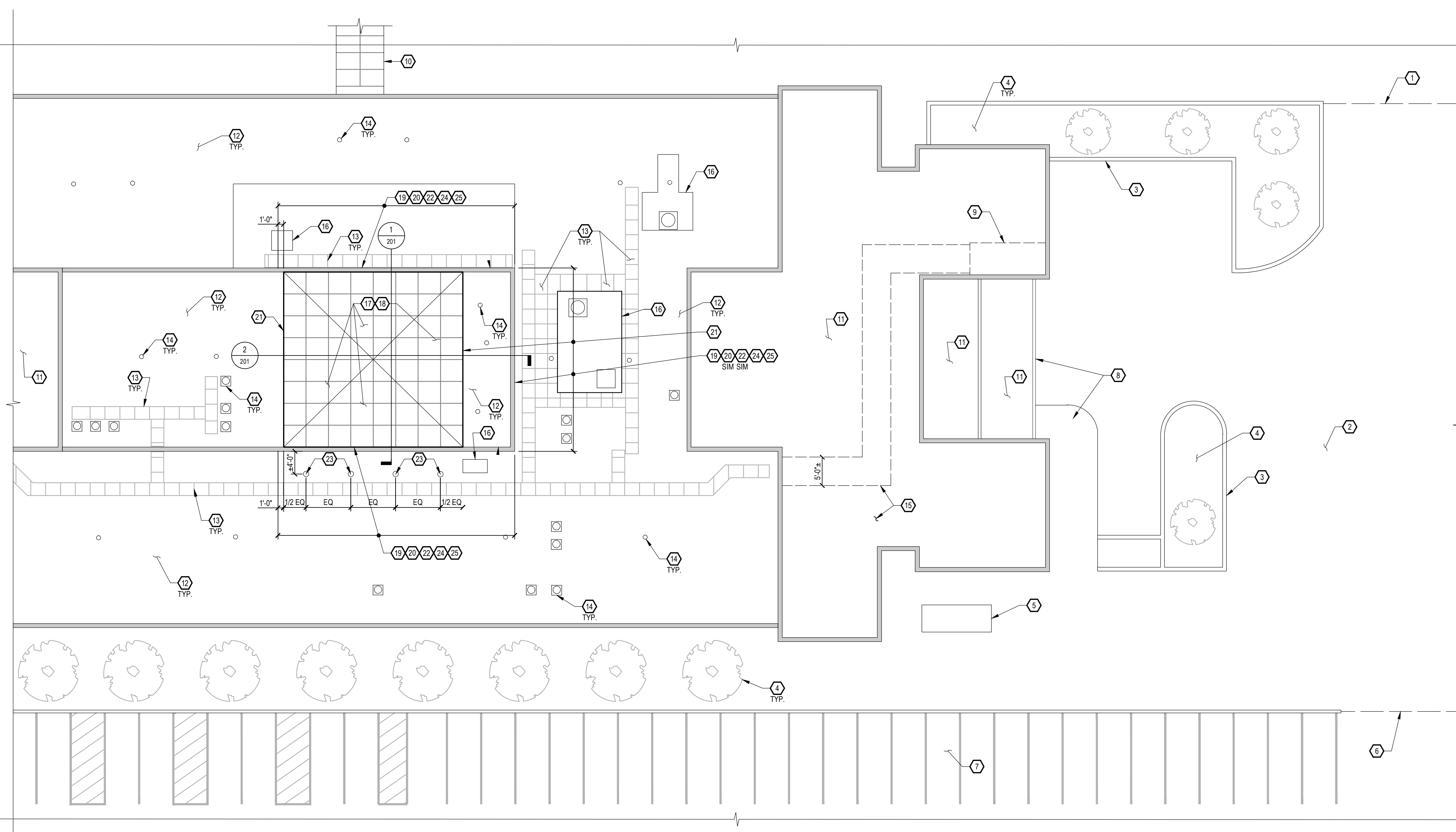
- 5TH STREET VEHICULAR ENTRANCE TO LOADING DOCK. DO NOT BLOCK.
- EXISTING CONCRETE SLAB ON GRADE AT LOADING DOCK DRIVE / PARKING AREA. DO NOT DAMAGE. DO NOT BLOCK.
- EXISTING CONCRETE PLANTER. DO NOT DAMAGE.
- EXISTING LANDSCAPING. DO NOT DAMAGE.
- EXISTING MECHANICAL EQUIPMENT AT GRADE. DO NOT DAMAGE.
- SOUTHERN PARKING LOT ENTRANCE. DO NOT BLOCK. KEEP GATE SECURE FOR THE DURATION OF THE PROJECT.
- EXISTING ASPHALT PARKING LOT. CONTRACTOR TO COORDINATE LOCATION FOR EQUIPMENT AND MATERIAL STAGING WITH OWNER. DO NOT DAMAGE.
- CONTRACTOR TO USE EASTERN LOADING DOCK RAMP AND BUILDING ENTRANCE. DO NOT DAMAGE.
- CONTRACTOR TO USE FREIGHT ELEVATOR. DO NOT DAMAGE.
- EXISTING PEDESTRIAN BRIDGE TO BUILDING 9. DO NOT USE FOR MATERIAL OR EQUIPMENT STAGING / MOBILIZATION. DO NOT DAMAGE.
- ROOF AREA NOT ASSOCIATED WITH THIS PROJECT.
- GAF RUBEROID APP MODIFIED BITUMEN ROOF MEMBRANE SYSTEM INSTALLED IN 2005. DO NOT DAMAGE.
- ROOF WALK MATTS. CONTRACTOR TO UTILIZE MATTS AT ALL TIMES OR PROVIDE ADDITIONAL ROOF MEMBRANE PROTECTION AT WALKWAYS.
- ROOF VENT, DRAIN ETC. DO NOT DAMAGE.
- CONTRACTOR MAY ACCESS ROOF THROUGH MECHANICAL ROOM PENTHOUSE. CONTRACTOR TO STAY WITHIN WALK PATH THROUGH MECHANICAL ROOM. OWNER TO PROVIDE 16 S.F. OF STORAGE AREA WITHIN MECHANICAL ROOM.
- EXISTING MECHANICAL EQUIPMENT. DO NOT DAMAGE. DO NOT COVER OR BLOCK AIR FLOW AROUND UNIT.
- REMOVE ALL EXISTING INSULATED GLASS UNITS WITHIN SKYLIGHT WITH NEW 1-1/2" INSULATED GLASS UNITS. REMOVE AND REPLACE ALL EXISTING SILICONE SEALANT WITH NEW SEALANT. REFER TO SECTIONS ON DRAWING 201 AND SPECIFICATION SECTIONS 07 92 01 AND 08 80 00.
- REFER TO DETAIL 2 ON THIS DRAWING FOR PROTECTION AND SAFETY REQUIREMENT ON LOWER FLOOR LEVELS UNDER THE SKYLIGHT.
- CONTRACTOR TO SURVEY MASONRY BRICK WALL TO LOCATE AND MARK DETERIORATED BRICK AND MORTAR. COORDINATE LOCATION AND QUANTITIES WITH ENGINEER PRIOR TO WORK. REPAIRS TO BE MADE ON A UNIT PRICE BASIS. REFER TO DETAILS 4 AND 5 ON DRAWINGS 202.
- PERFORM DOW 123 SILICONE SEAL AND WOOD BLOCKING REPAIRS PER DETAIL 1 AND 6 ON DRAWING 202. WOOD BLOCKING REPAIRS TO BE PAID ON UNIT PRICE BASIS.
- PERFORM DOW 123 SILICONE SEAL REPAIRS PER DETAIL 2 ON DRAWINGS 202.
- PERFORM THROUGH-WALL FLASHING REPAIR PER DETAIL 3 ON DRAWINGS 202.
- FILL EXISTING HOLES THROUGH CONCRETE ROOF SLAB (FROM BELOW) WITH SPRAY FOAM.
- REPLACE VERTICAL MASONRY CONTROL JOINTS THROUGHOUT WALL. REFER TO DETAIL 7 ON DRAWING 202.
- AFTER SUFFICIENT CURE OF ALL NEW MATERIALS APPLY WATER REPELLANT ON REPAIRED MASONRY WALL AREAS. COST TO BE INCLUDED IN UNIT PRICE MASONRY REPAIRS. REFER TO SPECIFICATION SECTION 07 19 10.

DRAWING NOTES:

- CONTRACTOR TO PROVIDE AND MAINTAIN FALL PROTECTION AND BARRICADES AS NECESSARY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL NOT WALK DIRECTLY ON, STORE EQUIPMENT ON, OR STAGE MATERIAL ON ROOF MEMBRANE WITHOUT PROVIDING MANUFACTURER RECOMMENDED PROTECTION.
- CONTRACTOR SHALL LIMIT ALL EQUIPMENT (INCLUDING SCAFFOLDING) AND MATERIAL STAGING LOADS TO THE FOLLOWING RESTRICTIONS:
 - MAXIMUM LOAD OF 25 LBS. PER SQUARE FOOT ON THE EXISTING ROOF DECK.
 - MAXIMUM EQUIPMENT LOADED WHEEL LOAD OF 250 LBS. PER AXLE ON THE EXISTING ROOF DECK.
 - REMOVED EXISTING GLASS SHALL NOT BE STORED ON THE ROOF DECK OVERNIGHT.
 - NEW GLASS MUST BE STORED IN THE SOUTH PARKING LOT AND TAKEN TO THE ROOF AS NEEDED.
 - ONLY STORE ENOUGH NEW GLASS UNITS THAT CAN BE INSTALLED THAT DAY.
 - MAXIMUM LOAD OF 50 LBS. PER SQUARE FOOT IN HALLWAYS AND LOBBY AREA UNDER SKYLIGHT.
- ALL BUILDING DOORS (LOADING DOCK, ROOF ACCESS, STAIRS, ETC.) TO BE SECURED AT ALL TIMES FOR THE DURATION OF THE PROJECT. CONTRACTOR TO OBTAIN ACCESS KEYS FROM OWNER.
- MAINTAIN CONTINUOUS UNOBSTRUCTED ACCESS TO STAIRS AND BRIDGES NOT UNDER CONSTRUCTION. WORK REQUIRING PARTIAL CLOSURE SHALL BE COORDINATED IN ADVANCE WITH THE OWNER. PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING PEDESTRIANS SAFELY THROUGH OR AROUND WORK AREAS.
- PHASE WORK TO ACCOMMODATE CONTINUOUS PEDESTRIAN TRAFFIC CIRCULATION. ERECT BARRICADES AND PROVIDE PROFESSIONALLY PREPARED SIGNAGE DIRECTING TRAFFIC SAFELY THROUGH OR AROUND WORK AREAS. AS REQUIRED TO PROTECT PERSONS AND PROPERTY, BLOCK OR RESTRICT ACCESS AS NECESSARY TO AREAS DIRECTLY BELOW WORK AREAS. ALL PHASING AND PROPOSED WORK AREAS SHALL BE REVIEWED AND APPROVED IN ADVANCE BY THE OWNER. CONTRACTORS SHALL FOLLOW THE CRITERIA BELOW WHEN DEVELOPING PHASING PLAN.
 - MINIMUM DRIVE AISLE WIDTH = 12'-0" IN PARKING LOTS.
 - MINIMUM PEDESTRIAN WALKING AISLE = 5'-0".
 - CLEAN, NEAT, LEGIBLE PROFESSIONALLY PREPARED SIGNAGE POSTED AND MAINTAINED AT ALL TIMES.
 - 4'-0" HIGH ORANGE CONSTRUCTION FENCE, SUPPORT AT DISTANCE TO SUFFICIENTLY SUPPORT FENCES WITHOUT SAGGING. U.N.O.
- CONTRACTOR SHALL PROTECT, AS NECESSARY, ALL EXISTING BUILDING FEATURES, LANDSCAPE, PARKING LOT, ETC., TO REMAIN. DO NOT DAMAGE. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED FEATURES (AS A RESULT OF INADEQUATE OR IMPROPER PROTECTION) TO THE SATISFACTION OF THE OWNER.

LEGEND:

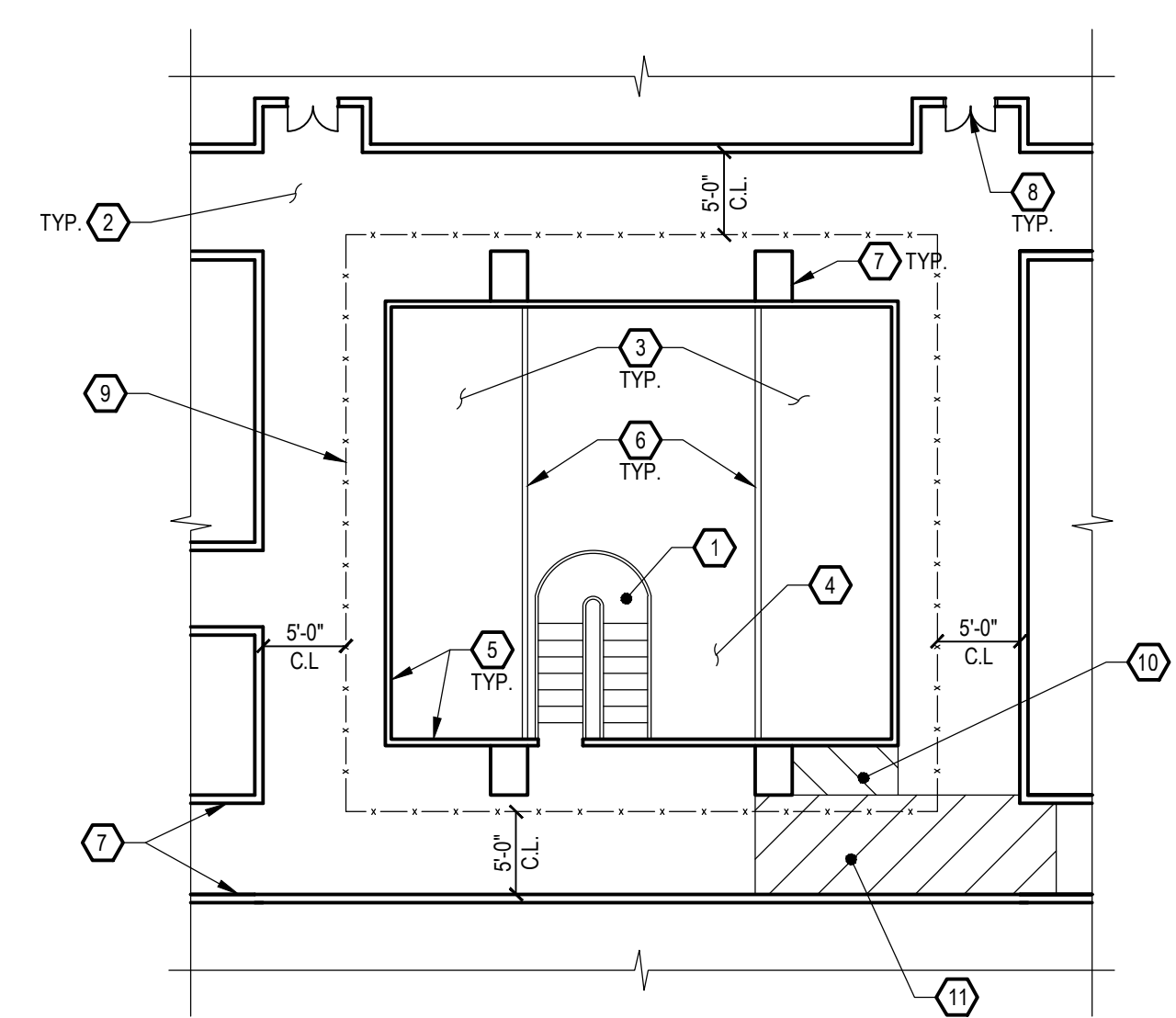
----- 4'-0" HIGH ORANGE FENCE BARRICADE UNDER SKYLIGHT (ON ALL LEVELS) DURING SKYLIGHT REPAIRS.



**BUILDING 13
1 PARTIAL ROOF PLAN
NO SCALE** NORTH

KEY NOTES:

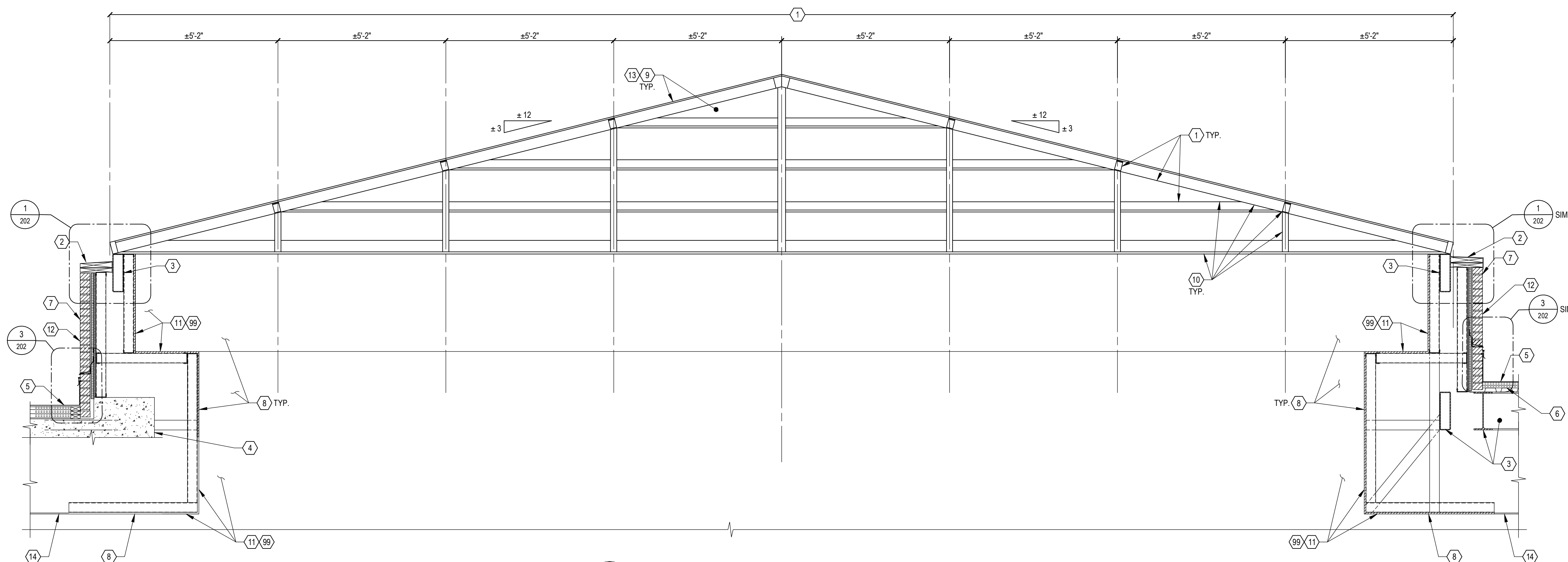
- EXISTING STAIRS. DO NOT DAMAGE. STAIRS MAY BE CLOSED FOR THE DURATION OF THE SKYLIGHT GLASS LIGHT REPLACEMENT.
- EXISTING 4TH LEVEL FLOOR FINISHES. DO NOT DAMAGE.
- EXISTING 3RD LEVEL FLOOR FINISHES. DO NOT DAMAGE.
- EXISTING 2ND LEVEL FLOOR FINISHES. DO NOT DAMAGE.
- EXISTING 4TH LEVEL GLASS RAILING. DO NOT DAMAGE.
- EXISTING 2ND AND 3RD LEVEL GLASS RAILING. DO NOT DAMAGE.
- TYPICAL EXISTING COLUMN AND WALL FINISHES ON ALL LEVELS. DO NOT DAMAGE.
- EXISTING DOOR OPENING. DO NOT BLOCK.
- CONTRACTOR TO PROVIDE 8'-0" SOLID WALL BARRICADE ON ALL LEVELS FOR THE DURATION OF THE SKYLIGHT AND SEALANT REPLACEMENT WORK. WALL SHALL BE SELF SUPPORTING AND CONSTRUCTED OF FIRE-RETARDANT 2X4 DIMENSIONS LUMBER SPACED AT 24" MAX WITH 1/2" PLYWOOD OR OSB SHEATHING. EXTERIOR OF WALL SHALL BE IN GOOD CONDITION AND PAINTED WHITE. INCLUDE MIN. 1 DOOR AT LEVEL 2 WITH HASP. LOCK TO BE PROVIDED BY OWNER.
- REPLACE EXISTING DRYWALL AND RUSTED METAL STUDS IN SOFFIT WITH LIKE MATERIAL. WORK INCLUDES THE ABATEMENT AND PROPER DISPOSAL OF EXISTING DRYWALL CONTAINING BIOLOGICAL GROWTH PER CURRENT OSHA REGULATIONS. WORK ALSO INCLUDES MATCHING SURROUNDING DRYWALL FINISH AND PAINT COLOR. CONTRACTOR TO SUBMIT MATERIALS TO ENGINEER AND OWNER FOR APPROVAL.
- REPLACE EXISTING CEILING TILE WITH CEILING TILE SALVAGED FROM ROOM 13223C (2ND LEVEL). CONTRACTOR TO SUBMIT MATERIAL TO ENGINEER FOR APPROVAL. REFER TO SPECIFICATION SECTION 01 10 00 FOR INFORMATION PERTAINING TO ROOM 13223C CEILING TILE AND GRID REPLACEMENT TO BE INCLUDED IN THIS PROJECT.



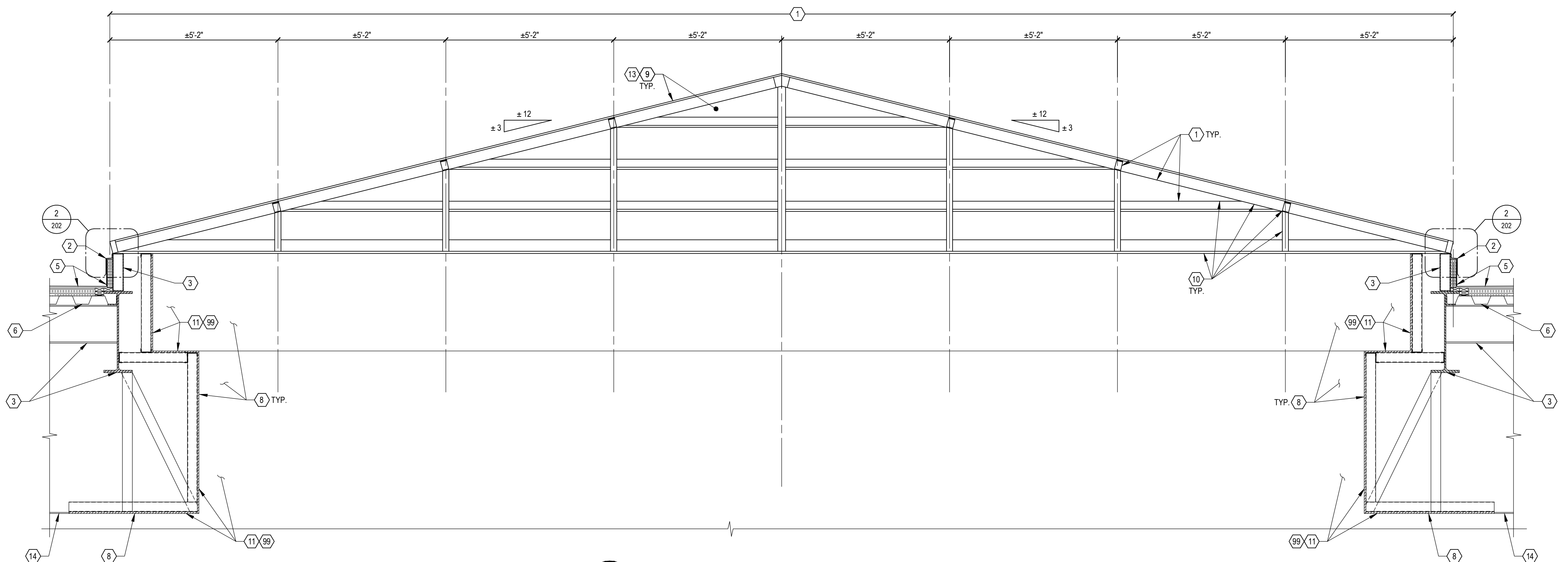
**BUILDING 13
2 PARTIAL FOURTH FLOOR PLAN
NO SCALE** NORTH

DRAWING NOTES:

1. CONTRACTOR TO FIELD MEASURE ALL EXISTING DIMENSIONS AND VERIFY ALL EXISTING CONDITIONS RELATED TO THE WORK. DIMENSIONS, ELEVATIONS, MEMBER SIZES, ETC. GIVEN FOR THE EXISTING STRUCTURE ARE BASED ON THE ORIGINAL DRAWINGS AND ARE GIVEN FOR INFORMATION ONLY. NOTIFY ENGINEER IF CONDITIONS DIFFER FROM THOSE SHOWN.
 2. CONTRACTOR SHALL NOT WALK, STORE EQUIPMENT, OR STAGE MATERIAL ON ROOFING MEMBRANE WITHOUT PROVIDING ROOF MEMBRANE MANUFACTURER RECOMMENDED PROTECTION.
- KEY NOTES:**
1. EXISTING SKYLIGHT FRAME. DO NOT DAMAGE.
 2. EXISTING ALUMINUM COPING/FLASHING AT SKYLIGHT. DO NOT DAMAGE.
 3. EXISTING STRUCTURAL STEEL FRAMING SUPPORTING SKYLIGHT UNIT.
 4. EXISTING CONCRETE ROOF SLAB/BEAMS SUPPORTING SKYLIGHT UNIT.
 5. EXISTING ROOFING MEMBRANE OVER INSULATION. DO NOT DAMAGE.
 6. EXISTING METAL ROOF DECKING. DO NOT DAMAGE.
 7. EXISTING BRICK MASONRY CAVITY WALL. WALL SYSTEM CONSISTS OF 4" MASONRY BRICK VENEER, +/- 1" AIR GAP, RIGID INSULATION, SHEATHING, AND 3 5/8" METAL STUDS AT 16" O.C. DO NOT DAMAGE.
 8. EXISTING 5/8" GYPSUM BOARD OVER STEEL FRAMING. DO NOT DAMAGE. SURVEY EXISTING GYPSUM BOARD WITH ENGINEER FOR WATER DAMAGE. REPLACE WITH LIKE MATERIAL AS A UNIT PRICE REPAIR ITEM. UNIT PRICE TO INCLUDE PAINT TO MATCH EXISTING. REFER TO SPECIFICATION SECTION 01 21 00 AND 01 29 00.
 9. REMOVE EXISTING INSULATED GLASS UNIT AND SEALANTS THROUGHOUT SKYLIGHT AND REPLACE WITH NEW. REFER TO SPECIFICATION SECTIONS 07 92 01 AND 08 80 00.
 10. CLEAN EXISTING SKYLIGHT FRAMING. REMOVE ALL DUST, WATER STAINS, ETC. DO NOT DAMAGE FRAMING FINISH.
 11. PAINT EXISTING GYPSUM BOARD. PAINT SHALL BE SHERWIN WILLIAMS PROMAR 200, COLOR 7037 BALANCED BEIGE, EG-SHEL.
 12. CONTRACTOR TO SURVEY MASONRY BRICK WALL TO LOCATE AND MARK DETERIORATED BRICK AND MORTAR. COORDINATE LOCATION AND QUANTITIES WITH ENGINEER PRIOR TO WORK. REPAIRS TO BE MADE ON A UNIT PRICE BASIS. REFER TO DETAILS 4 AND 5 ON DRAWINGS 202.
 13. SKYLIGHT WORK TO INCLUDE THE TEMPORARY REMOVAL AND REINSTALLATION OF AN INSULATED GLASS UNIT DURING THE SUBMITTAL PROCESS TO ASSURE NEW INSULATED GLASS UNITS MATCH EXISTING IN COLOR, THICKNESS, ETC. COORDINATE SELECTION OF INSULATION GLASS UNITS WITH OWNER / ENGINEER PRIOR TO REMOVAL. REFER TO SPECIFICATION SECTION 08 81 00.
 14. EXISTING CEILING TILE. DO NOT DAMAGE.
 99. ALTERNATE #3. REFER TO SPECIFICATION SECTION 01 23 00.



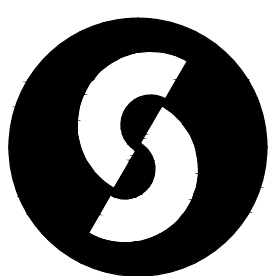
1 SECTION AT SKYLIGHT
 201 1/2"=1'-0"



2 SECTION AT SKYLIGHT
 201 1/2"=1'-0"

ISSUES	BID DOCUMENTS
1	10/15/17

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Sinclair Community College

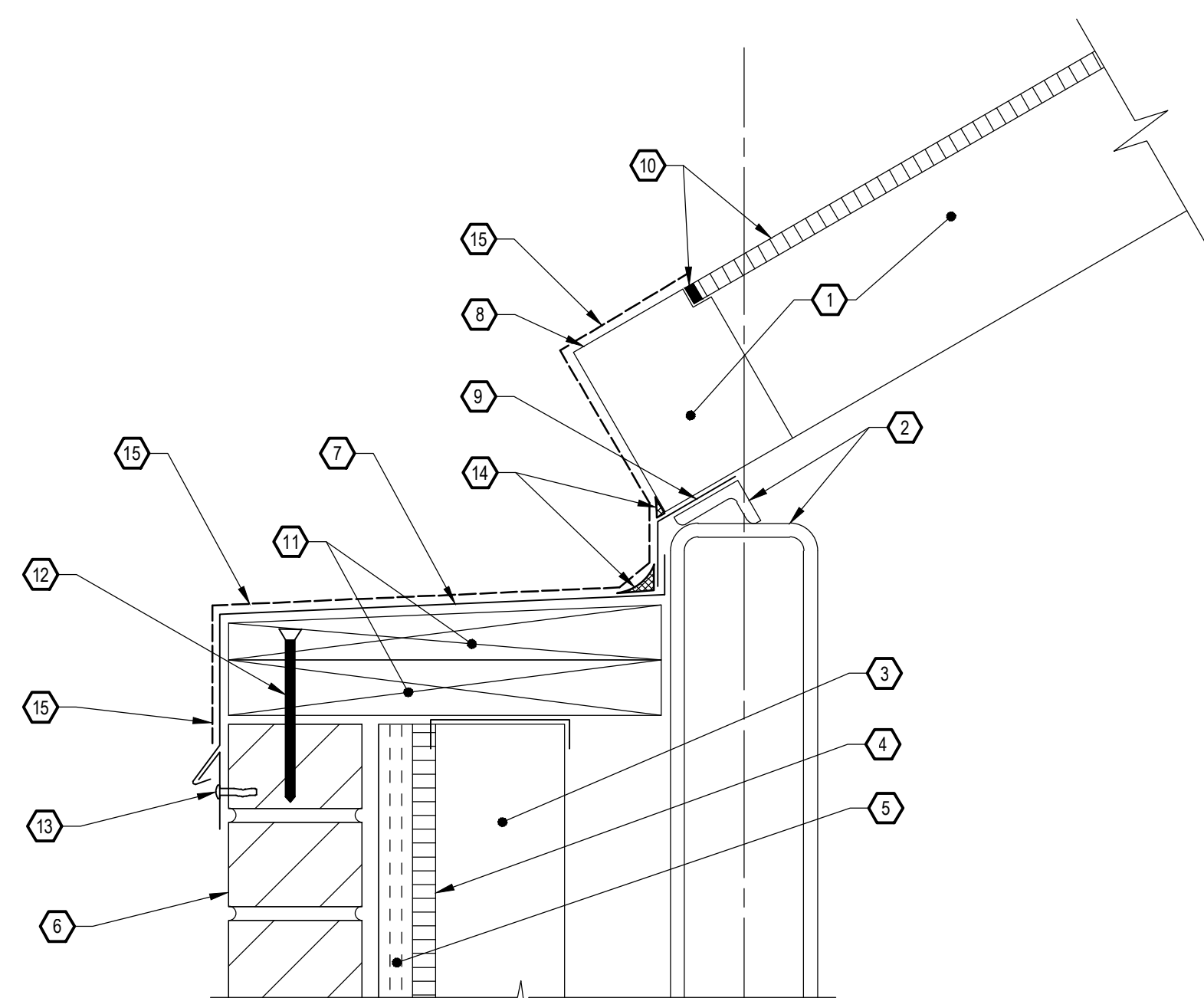
Project No. FAC 18-07

Skylight Replacement Building 13

DRAWING TITLE
REPAIR ELEVATIONS

JOB NUMBER DATE
16033.02 October 2017

DRAWING NUMBER

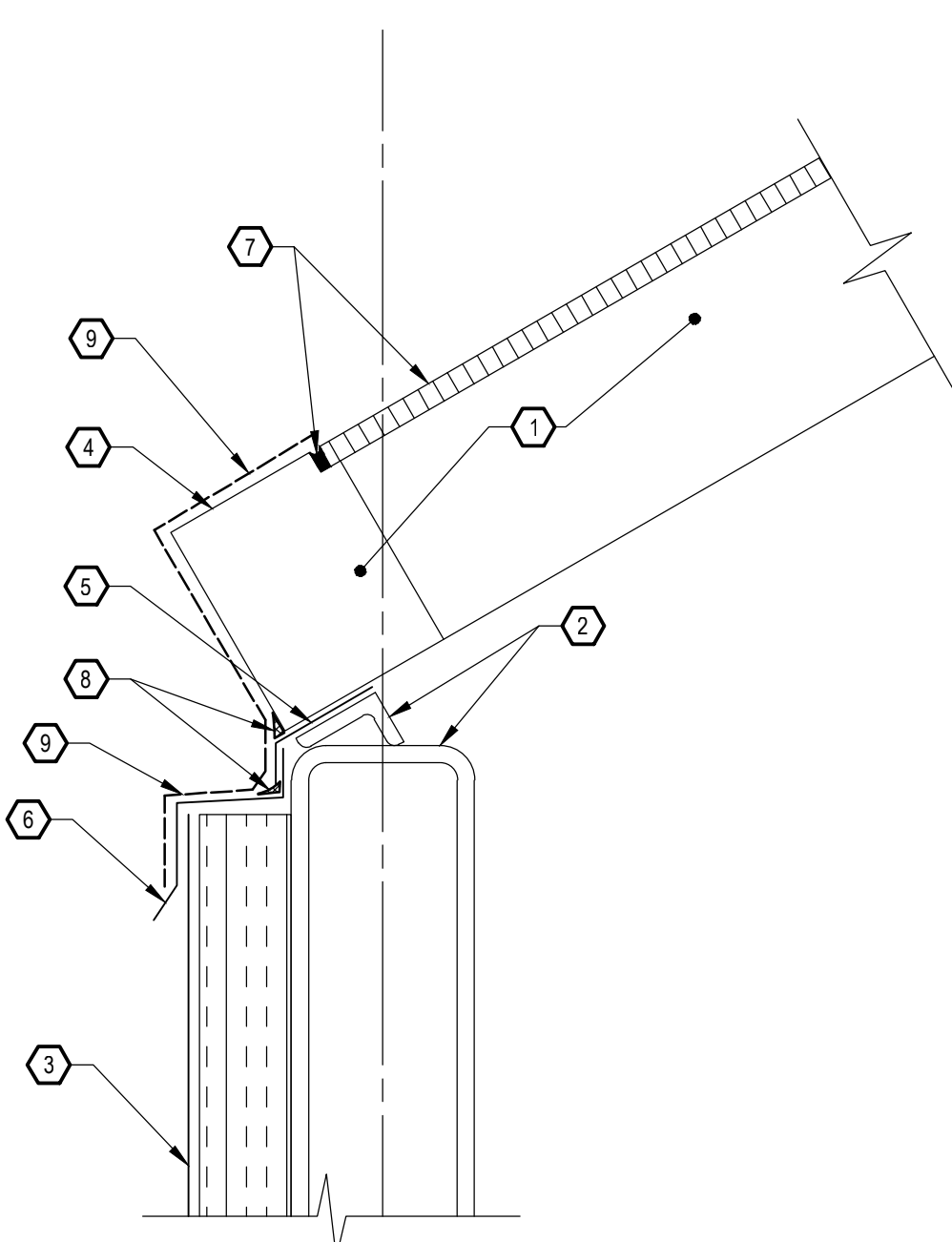


KEY NOTES:

- 1 SKYLIGHT FRAMING. DO NOT DAMAGE.
- 2 EXISTING STRUCTURAL STEEL FRAMING SUPPORTING SKYLIGHT UNIT. DO NOT DAMAGE.
- 3 EXISTING 3 5/8" METAL STUDS AT 16" O.C.. DO NOT DAMAGE.
- 4 EXISTING SHEATHING. DO NOT DAMAGE.
- 5 EXISTING RIGID INSULATION. DO NOT DAMAGE.
- 6 EXISTING 4" MASONRY BRICK VENEER. DO NOT DAMAGE.
- 7 EXISTING ALUMINUM COPING ON TOP OF MASONRY WALL. DO NOT DAMAGE.
- 8 EXISTING ALUMINUM SKYLIGHT CLADDING. DO NOT DAMAGE.
- 9 EXISTING ALUMINUM COUNTER FLASHING. DO NOT DAMAGE.
- 10 REMOVE EXISTING INSULATED GLASS UNITS AND SEALANTS THROUGHOUT AND REPLACE WITH NEW. REFER TO SPECIFICATION SECTIONS 07 92 01 AND 08 80 00.
- 11 CONTRACTOR TO SURVEY EXISTING WOOD BLOCKING TO LOCATE AND MARK DETERIORATED WOOD. COORDINATE LOCATION AND QUANTITIES WITH ENGINEER PRIOR TO WORK. REPLACE DETERIORATED WOOD BLOCKING WITH NEW TREATED LUMBER AND ANCHORS ON A UNIT PRICE BASIS.
- 12 NEW ANCHORS TO BE INCLUDED IN UNIT PRICE WOOD BLOCKING REPLACEMENT. ANCHORS SHALL BE 1/4" DIAMETER SS TAPCON ANCHORS BY RED HEAD SPACED AT 16" O.C. EMBED A MINIMUM OF 2" INTO SOLID MASONRY GROUT.
- 13 NEW ALUMINUM CLEATS (MATCH EXISTING) TO BE INCLUDED IN UNIT PRICE WOOD BLOCKING REPLACEMENT. ANCHORS FOR TERMINATION BAR SHALL BE 1/2" DIA x 1 1/2" LG. LOW PROFILE MUSHROOM HEAD NAIL-IN ANCHOR CONSISTING OF A STAINLESS STEEL DRIVE PIN AND ALUMINUM/ZINC ALLOY EXPANDING METAL BODY.
- 14 REMOVE EXISTING SILICONE JOINT SEALANT THROUGHOUT AND REPLACE WITH NEW +/-1" JOINT SEALANT. REFER TO SPECIFICATION SECTION 07 92 01.
- 15 INSTALL NEW DOW 123 SILICONE SEAL OVER JOINTS IN ALUMINUM SKYLIGHT CLADDING, WALL COPING, AND FLASHING THROUGHOUT. TERMINATE OVER NEW SILICONE JOINTS SEALANT (NOTE 14). REFER TO DETAIL 6 ON THIS DRAWING AND EMBED ENDS OF SILICONE SEAL IN A 3/4" WIDE BED OF SILICONE.

**MASONRY WALL COPING REPAIR
DETAIL 1**

202 NO SCALE

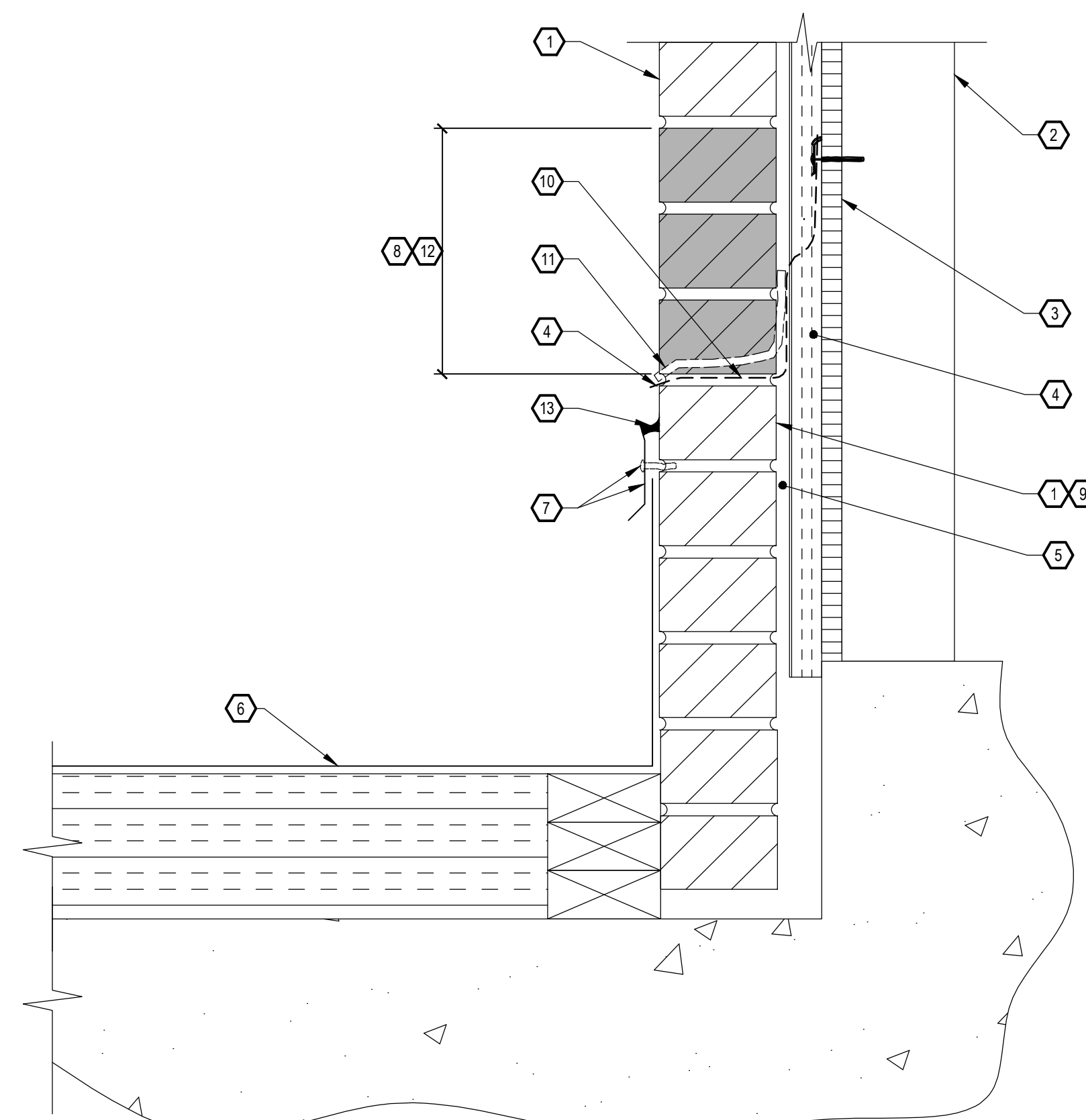


KEY NOTES:

- 1 SKYLIGHT FRAMING. DO NOT DAMAGE.
- 2 EXISTING STRUCTURAL STEEL FRAMING SUPPORTING SKYLIGHT UNIT.
- 3 EXISTING ROOFING MEMBRANE OVER INSULATION. DO NOT DAMAGE.
- 4 EXISTING ALUMINUM SKYLIGHT CLADDING. DO NOT DAMAGE.
- 5 EXISTING ALUMINUM COUNTER FLASHING. DO NOT DAMAGE.
- 6 EXISTING ROOF MEMBRANE TERMINATION BAR / FLASHING WITH ANCHORS. DO NOT DAMAGE.
- 7 REMOVE EXISTING INSULATED GLASS UNITS AND SEALANTS THROUGHOUT AND REPLACE WITH NEW. REFER TO SPECIFICATION SECTIONS 07 92 01 AND 08 80 00.
- 8 REMOVE EXISTING JOINT SEALANT AND REPLACE WITH NEW +/-1" SILICONE JOINT SEALANT. REFER TO SPECIFICATION SECTION 07 92 01.
- 9 INSTALL NEW DOW 123 SILICONE SEAL OVER JOINTS IN ALUMINUM SKYLIGHT CLADDING, WALL COPING, AND FLASHING THROUGHOUT. TERMINATE OVER NEW SILICONE JOINTS SEALANT (NOTE 14). REFER TO DETAIL 6 ON THIS DRAWING AND EMBED ENDS OF SILICONE SEAL IN A 3/4" WIDE BED OF SILICONE.

**SKYLIGHT FLASHING
DETAIL 2**

202 NO SCALE

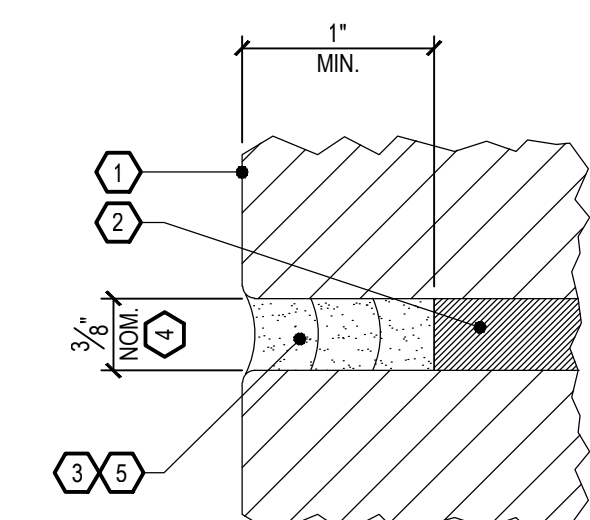


KEY NOTES:

- 1 EXISTING MASONRY BRICK VENEER TO REMAIN. DO NOT DAMAGE.
- 2 3 5/8" METAL STUDS AT 16" O.C. DO NOT DAMAGE.
- 3 SHEATHING. DO NOT DAMAGE.
- 4 EXISTING RIGID INSULATION. REPLACE WITH LIKE MATERIAL IF DAMAGED DURING REPAIR WORK.
- 5 ± 1" AIR SPACE.
- 6 EXISTING ROOFING MEMBRANE OVER INSULATION. DO NOT DAMAGE.
- 7 EXISTING ROOF MEMBRANE TERMINATION BAR / FLASHING WITH ANCHORS. DO NOT DAMAGE.
- 8 REMOVE AND SALVAGE EXISTING 3 COURSE OF MASONRY BRICK.
- 9 REPLACE MORTAR AT THE HEAD JOINT IN BRICK COURSE ABOVE THE ROOF TERMINATION BAR. REFER TO DETAIL 4 ON DRAWING 202.
- 10 PROVIDE NEW FLEXIBLE FLASHING WITH TERMINATION BAR INTO EXISTING BACKUP WALL. ANCHORS ARE TO BE INSTALLED AT 16" O.C. PROVIDE CONTINUOUS SILICONE COVE SEALANT ALONG THE TOP OF THE TERMINATION BAR. REFER TO SPECIFICATION SECTION 04 01 00.
- 11 PROVIDE WEEP CORDS 16" ON CENTER. REFER TO SPECIFICATION SECTION 04 01 00.
- 12 REINSTALL MASONRY BRICK. REFER TO SPECIFICATION SECTION 04 01 00.
- 13 REMOVE EXISTING JOINT SEALANT AT ROOF TERMINATION BAR AND REPLACE WITH NEW +/-1" SILICONE JOINT SEALANT. REFER TO SPECIFICATION SECTION 07 92 01.

**THROUGH-WALL FLASHING
DETAIL 3**

202 NO SCALE

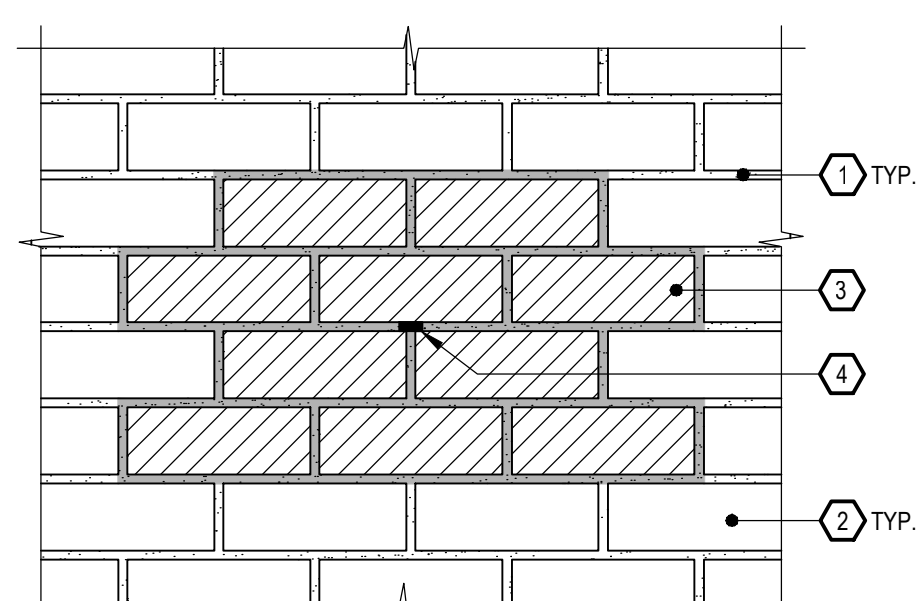


- 1 EXISTING BRICK TO REMAIN.
- 2 EXISTING SOUND MORTAR TO REMAIN.
- 3 SAW CUT EXISTING MORTAR UNTIL SOUND MORTAR IS ENCOUNTERED, MINIMUM DEPTH OF 1". DO NOT DAMAGE BRICKS OR WIDEN JOINTS.
- 4 CLEAN AND WET AREAS OF BRICK TO RECEIVE NEW MORTAR.
- 5 PROVIDE NEW MORTAR IN MAXIMUM LIFTS OF 3/8" DEEP. REFER TO SPECIFICATION SECTION 04 01 00.

**TYPICAL TUCKPOINT
DETAIL 4**

202 NO SCALE

PAY UNIT PER LIN. FT.

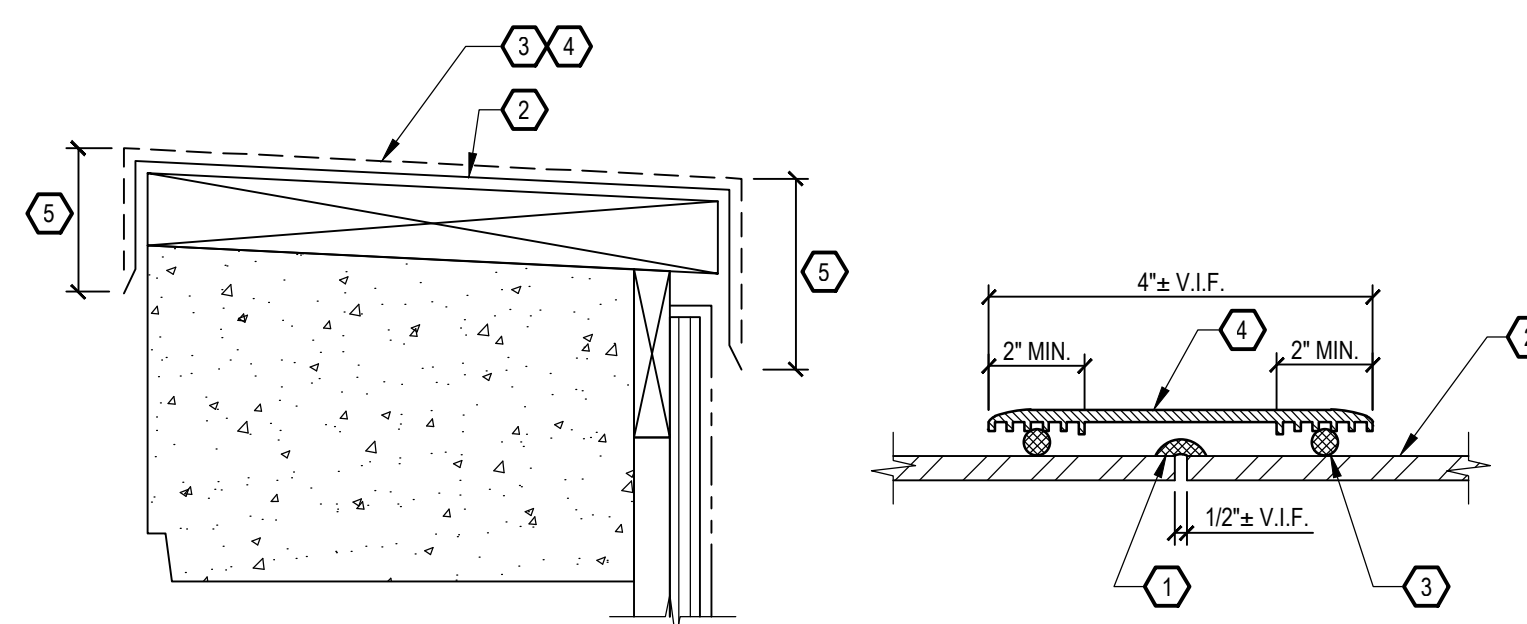


- 1 EXISTING MORTAR JOINT TO REMAIN.
- 2 EXISTING BRICK MASONRY UNIT TO REMAIN.
- 3 LOCALIZED DETERIORATED BRICK MASONRY UNITS TO BE REPLACED OR REMOVED LOUVER TO BE INFILLED. COMPLETELY REMOVE BRICK (AND SALVAGE), SEALANTS, AND MORTAR JOINTS ASSOCIATED WITH REMOVED MATERIALS. CLEAN RESIDUAL MORTAR FROM ADJACENT BRICK AND PREPARE AND REPLACE BRICK UNIT. IF NECESSARY, TRIM BACKSIDE OF BRICK TO PROVIDE 1" CAVITY. PRIOR TO TRIMMING BRICK, REVIEW CONDITION WITH PROJECT ENGINEER. SET NEW BRICK IN FULL BED OF MORTAR. POINT HEAD AND TOP JOINTS FULL DEPTH AND RAKE JOINTS TO MATCH ADJACENT. REFER TO SPECIFICATION SECTION 04 01 00.
- 4 REINSTALL SALVAGED MASONRY ANCHORS AS REQUIRED. REFER TO SPECIFICATION SECTION 04 01 00.

**BRICK MASONRY PATCH OR INFILL
DETAIL 5**

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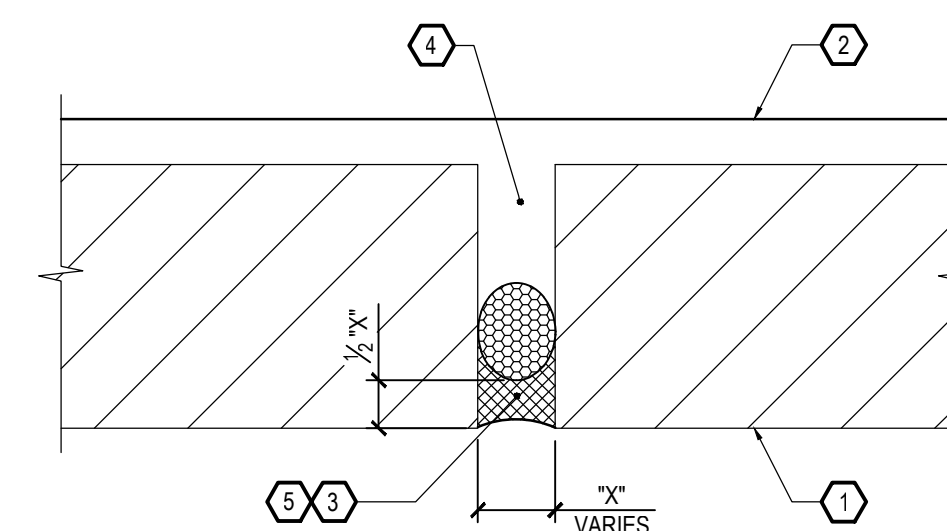
PAY UNIT PER SQ. FT.



- 1 REMOVE AND REPLACE EXISTING SEALANT FLASHING/ CLIPPING/ COPING AT SEAM. REFER TO SPECIFICATION SECTION 07 92 01.
- 2 EXISTING SUBSTRATE. CLEAN AND PREPARE FOR APPLICATION OF NEW SILICONE SEALANT AND PREFORMED SILICONE SEAL.
- 3 PROVIDE NEW BEAD OF SEALANT AROUND PERIMETER OF NEW PREFORMED SEAL INSTALLATION. REFER TO SPECIFICATION SECTION 07 92 01.
- 4 PROVIDE NEW PREFORMED SILICONE SEAL AND INSTALL PER MANUFACTURERS RECOMMENDATIONS. REFER TO SPECIFICATION SECTION 07 92 01.
- 5 RETURN NEW PREFORMED SILICONE SEALANT TO THE END OF FLASHING/ CLIPPING / COPING. TERMINATE TOP END IN PERPENDICULAR SILICONE JOINT SEALANT. EMBED TOP END OF SEAL IN 3/4" SILICONE SEALANT. DO NOT SEAL ALONG BOTTOM EDGE OF THE PERFORMED SILICONE.

**SILICONE PREMOLD CAP AT COPING CORNER
SECTION DETAIL 6**

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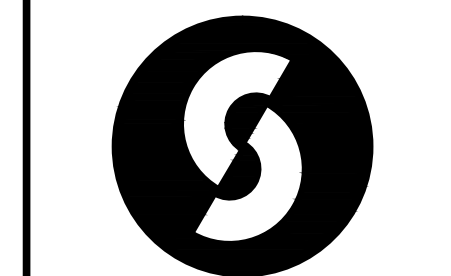
- 1 EXISTING MASONRY BRICK WALL.
- 2 EXISTING BUILDING STRUCTURE.
- 3 REMOVE EXISTING SEALANT AND BACKER ROD.
- 4 REMOVE ALL EXISTING MORTAR FROM MASONRY CONTROL JOINT.
- 5 PROVIDE NEW BACKER ROD AND SILICONE SEALANT. REFER TO SPECIFICATION SECTION 07 92 01.

**TYPICAL SEALANT JOINT
DETAIL 7**

202 NO SCALE

ISSUES	10/15/17	BID DOCUMENTS
REVISIONS		

PROJECT COORDINATOR: G.O. Donahue
PROJECT MANAGER: J.B. Hollis
CHECKED BY: W.M. Judd



Sinclair Community College

Project No. FAC 18-07

Skylight Replacement Building 13

DRAWING TITLE
REPAIR DETAILS

JOB NUMBER DATE
16033.02 October 2017
DRAWING NUMBER